



June 20, 2024

BY HAND DELIVERY AND E-MAIL – [planning@worcesterma.gov](mailto:planning@worcesterma.gov)

Division of Planning & Regulatory Services  
City Hall Room 404  
455 Main Street  
Worcester, MA 01608  
Attn: Michelle M. Smith, Assistant Chief Development Officer

RECEIVED  
WORCESTER CITY CLERK  
2024 JUN 25 AM 11:26

**Re: Polar Views LLC – REVISED Application for Variances from Minimum Parking and Frontage for Mixed-Use Eligible Development Project at 39 Lamartine Street, Worcester, Massachusetts**

Dear Ms. Smith:

This firm represents Polar Views LLC in its application to the City of Worcester Zoning Board of Appeals (the "Board") for grant of variances from minimum parking and frontage requirements, in connection with the construction and development of a new 6-story building (the "New Building") with approximately 48,613 gross square feet, two levels of parking (one at the basement level and one at the ground floor), residential amenities, commercial retail space, 5 stories of multifamily Eligible Development which will include a mix of 1- and 2-bedroom apartments and a 6-bedroom penthouse suite on the top floor, as well as indoor and outdoor common areas, new landscaping, and other site features (the "Project"). The Project also includes the construction and/or installation of related site improvements at the Property, including, but not limited to, new sidewalks and walkways, curb cuts (along Meade Street and Grosvenor Street), landscaped open spaces and indoor and outdoor amenity areas (e.g., fitness room, lounge, function room, dog park, second floor roof garden, balconies, decks, etc.), electric vehicle (EV) charging stations, interior and exterior bicycle storage areas and other site features.

**On June 11<sup>th</sup>, Polar Views filed its application with the Board, and based on feedback from Victor Panak, it was determined that a variance from the minimum parking requirement for 2 parking spaces is required for the Project. Accordingly, we hereby submit the revised Variance Application and Statement in Support for filing with the Board.**

We will coordinate with staff to facilitate the submission of the addressed envelopes, the filing fees payable to the City of Worcester and necessary copies of the above items.

Kindly file this Application with the City Clerk, and schedule this Application to be presented and discussed at the Board's next available meeting, which is scheduled to occur on **July 15, 2024**. Please let me know if you have any questions concerning the enclosed.

Thank you for your assistance with this matter.

Very truly yours,

A handwritten signature in black ink, appearing to read "J Lee Smith", written in a cursive style.

Joshua Lee Smith

JLS

Enclosures

cc: Project team



**VARIANCE APPLICATION**

**CITY OF WORCESTER ZONING BOARD OF APPEALS**

455 Main Street, Room 404, Worcester, MA 01608  
Phone 508-799-1400 ext. 31440 - Fax 508-799-1406

Fill in information for the Variances (s) you are applying for. Attach additional documentation as necessary.

Address: 39 Lamartine Street

Parcel ID or MBL: 05-014-00008

If more than one structure on the lot, identify relevant structure requiring relief: \_\_\_\_\_

Lot Area		Front Yard Setback		Rear Yard Setback	
Square footage required:		Setback required:		Setback required:	
Square footage provided:		Setback provided:		Setback provided:	
Relief requested:		Relief requested:		Relief requested:	
Frontage		Side Yard Setback		Exterior Side Yard Setback	
Frontage required:	200'	Setback required:		Setback required:	
Frontage provided:	159.28'+/-	Setback provided:		Setback provided:	
Relief requested:	40.78'+/-	Relief requested:		Relief requested:	
(Planning Board SP required) Off-street Parking		Height		Accessory Structure 5-foot Setback	
Parking required:	42 - w/ IZ entitlements	Height permitted:		Type of structure:	
Parking provided:	40	Height provided:		Square footage of structure:	
Relief requested:	2	Relief requested:		Relief requested:	
Off-street Loading		Other Variances			
Loading required:		Relief requested:			
Loading provided:		Zoning Ordinance Article & Section:			
Relief requested:		Requirement:			
		Provided:			

**If you are requesting Variances for more than one structure or lot, provide this sheet for each structure/lot. Only complete the sections pertaining to the Variances (s) you are applying for.**

**1. Property Information**

- a. 39 Lamartine Street  
Address(es) – please list all addresses the subject property is known by
- b. 05-014-00008  
Parcel ID or Map-Block-Lot (MBL) Number
- c. Worcester District Registry of Deeds, Book 67447 Page 1  
Current Owner(s) Recorded Deed/Title Reference(s)
- d. BG-3.0  
Zoning District and all Zoning Overlay Districts (if any)
- e. The property is presently a vacant lot consisting primarily of impervious surface containing approximately 18,154 square feet.  
Describe what is presently located on the property (Use as much detail as possible including all uses and square footage of each use):
- f. 0 existing bedrooms; 20-1 BR, 15-2 BR and 6-bed penthouse. Total of 56 bedrooms proposed.  
If residential, describe how many bedrooms are pre-existing and proposed

**2. Applicant Information**

- a. Polar Views LLC  
Name(s)
- b. 89 West Main Street, Unit 101, Northborough, MA 01532  
Mailing Address(es)
- c. jsmith@bowditch.com; (508)-926-3464  
Email and Phone Number(s)
- d. Owner  
Interest in Property (e.g., Lessee, Purchaser, etc.)

**I certify that I am requesting the Worcester Zoning Board of Appeals to grant the Variance as described below**

Polar Views LLC


By:  Daniel Yarnie, Its Manager

(Signature)

**3. Owner of Record Information (if different from Applicant)**

- a. Same.  
Name(s)
- b. \_\_\_\_\_  
Mailing Address(es)
- c. \_\_\_\_\_  
Email and Phone Number

**4. Representative Information**

- a. Joshua Lee Smith, Esq.  
Name(s)
- b.   
Signature(s)
- c. 311 Main Street, Worcester, MA 01608  
Mailing Address(es)
- d. jsmith@bowditch.com; (508)-926-3464  
Email and Phone Number
- e. Attorney  
Relation to Project (Architect/Attorney/Engineer/Contractor, etc.)

**5. Owner Authorization**

Authorization I, Daniel Yarnie, Manager of Polar Views LLC, Owner of Record of the property listed with the Assessing Division of the City of Worcester, Massachusetts as Map 05 Block 014 Lot(s) 00008, do hereby authorize Joshua Lee Smith, Esq. to file this application with the Division of Planning & Regulatory Services of the City of Worcester on this the 7th day of June, 2024.

Polar Views LLC

By  Daniel Yarnie, Its Manager

**6. Proposal Description**

The Project includes the construction and development of a new 6-story building with approximately 48,613 gross square feet, two levels of parking, residential amenities, commercial retail space, 5 stories of multifamily Eligible Development which will include a mix of 1- and 2-bedroom apartments and a 6-bedroom penthouse suite on the top floor, as well as indoor and outdoor common areas, new landscaping and other site features.

- a. The applicant seeks to (Describe what you want to do on the property in as much detail as possible)
- b. No.  
Are you aware if this property has been previously granted approvals from any City Board or Commission? If so, please list (Provide dates of previous approvals, book and page numbers and/or certificate numbers of any recorded decisions and/or recorded/registered land. Also, please provide copies of previous recorded decisions)
- d. No.  
Have you applied for or are you aware if other applicants have applied for a Building Permit for this site and been refused for non-compliance with the Zoning Ordinance (e.g., a cease-and-desist order has been issued)?
- e. Please see Statement in Support  
List any additional information relevant to the Variance (s)

### VARIANCE - FINDINGS OF FACT

**In the spaces below, please explain how the adverse effects of the proposed use will not outweigh its beneficial impacts to the City with respect to each of the following considerations per Article II, Section 6(A)(3) of the Zoning Ordinance. Attach additional supporting documentation as necessary.**

1. Describe how a literal enforcement of the provisions of the City of Worcester Zoning Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant:

Please see Statement in Support.

2. Describe how the hardship is owing to circumstances relating to the soil conditions, shape, and/or topography of the land or structures and how the hardship especially affects said land or structures, but does not affect generally the zoning district in which it is located:

Please see Statement in Support.

3. Describe how desirable relief may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the City of Worcester Zoning Ordinance:

Please see Statement in Support.

4. Describe how the dimensional variance as it relates to floor space, bulk, number of occupants, or other relevant measures, if granted, shall be no greater than the minimum necessary to provide relief from the statutory hardship:

Please see Statement in Support.

**TAX CERTIFICATION**

This certification must be completed by all applicants and owners of the property, certifying payment of all local taxes, fees, assessments, betterments, or any other municipal charges of any kind. Failure to include a completed certification shall result in the application being deemed incomplete.

**If a Single Owner or Proprietorship:**

- a. \_\_\_\_\_  
Name
- b. \_\_\_\_\_  
Signature certifying payment of all municipal charges
- c. \_\_\_\_\_  
Mailing Address
- d. \_\_\_\_\_  
Email and Phone Number

**If a Partnership or Multiple Owners:**

- e. \_\_\_\_\_  
Names
- f. \_\_\_\_\_  
Signatures certifying payment of all municipal charges
- g. \_\_\_\_\_  
Mailing Address
- h. \_\_\_\_\_  
Email and Phone Number

**Applicant, if different from owner:**

- i. \_\_\_\_\_  
Printed Name & Signature of Applicant, certifying payment of all municipal charges

**If a Corporation or Trust:**

- j. Polar Views LLC  
Full Legal Name
- k. MA 89 West Main Street, Unit 101, Northborough, MA 01532  
State of Incorporation Principal Place of Business
- l. 89 West Main Street, Unit 101, Northborough, MA 01532  
Mailing Address or Place of Business in Massachusetts  
Polar Views LLC
- m. By: [Signature], Daniel Yamie, Its Manager  
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges
- n. \_\_\_\_\_  
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges
- o. \_\_\_\_\_  
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges
- p. \_\_\_\_\_  
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges

**Statement in Support of Polar Views LLC**  
**Application to City of Worcester Zoning Board of Appeals for Grant of Variances for**  
**Noncompliance with Minimum Parking and Frontage Requirements for Mixed-Use**  
**Eligible Development Project at 39 Lamartine Street, Worcester, Massachusetts**

**I. Background and Project Scope.**

Polar Views LLC (“Polar Views”) is the owner of the property known and numbered as 39 Lamartine Street, Worcester, Massachusetts,<sup>1</sup> which contains approximately 18,154 square feet of land located at the corners of Lamartine Street, Grosvenor Street and Meade Street (the “Property”). The Property last contained a warehouse and office building that was unoccupied for years and was recently razed and removed.

The Property is located entirely within the Business, General (“BG-3.0”) zoning district and no overlay districts and is bounded by the Inspectional Services Department building to the south, a vacant parcel to the west, a municipal parking lot to the east and undeveloped commercial property to the north. The Property is located in close proximity to Polar Park and is surrounded by residential properties and various businesses and commercial uses, e.g., laundromat, storage, supply store, parking lots, etc.

Polar Views is seeking the grant of variances from minimum parking and minimum frontage requirements from the Worcester Zoning Board of Appeals (the “Board”), as more particularly described herein, in connection with the construction and development of a new 6-story building (the “New Building”) with approximately 48,613 gross square feet,<sup>2</sup> two levels of parking (one at the basement level and one at the ground floor), residential amenities, commercial retail space, 5 stories of multifamily Eligible Development<sup>3</sup> which will include a mix of 1- and 2-bedroom apartments and a 6-bedroom penthouse suite on the top floor, as well as indoor and outdoor common areas, new landscaping and other site features (the “Project”). A total of 40 parking spaces will be provided to serve the occupants of the New Building. The Project also includes the construction and/or installation of related site improvements at the Property, including, but not limited to, new sidewalks and walkways (i.e., existing sidewalks will be replaced and/or repaired as needed, new walkways will be provided on-locus to provide access to entry doors), curb cuts (along Meade Street and Grosvenor Street), landscaped open spaces and indoor and outdoor amenity areas (e.g., fitness room, lounge, function room, dog

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<sup>1</sup> 39 Lamartine Street has a parcel identification of 05-014-0008.

<sup>2</sup> This excludes basement and garage areas.

<sup>3</sup> An Eligible Development is defined in the Zoning Ordinance as “developments that include at least five percent (5%) of the units for the overall project with income restrictions at the sixty percent (60%) AMI limit.” The Project will contain 6 affordable units (4 units at 80% AMI and 2 units at 60% AMI) and will, therefore, constitute an Eligible Development.



park, second floor roof garden, balconies, decks, etc.), electric vehicle (EV) charging stations,<sup>4</sup> interior and exterior bicycle storage areas<sup>5</sup> and other site features.

## II. Requirement for Variances.

Variances are required to be granted by the Board<sup>6</sup> for noncompliance with the minimum off-street parking requirement pursuant to Article IV, Table 4.4, and the minimum frontage requirement pursuant to Article IV, Table 4.2. Table 4.4 requires 2 parking spaces per dwelling unit and 1 parking space for every 300 square feet of retail space proposed. The Project will result in 36 dwelling units and 1,581 square feet of retail space. Taking into account the Eligible Development entitlements, the Project requires 42 parking spaces,<sup>7</sup> and, based on the 40 parking spaces provided, the Project requires a variance to account for 2 parking spaces. Table 4.2 requires a minimum of 40 feet of frontage per dwelling unit, not to exceed 200 feet, for properties in the BG-3.0 zoning district. The Project will result in 36 dwelling units and will, therefore, require 200 feet of frontage, regardless of any Eligible Development entitlements. The Property contains approximately 159.28+/- feet of frontage and, accordingly, requires 40.72+/- feet of relief from the minimum frontage requirement.

In addition, the Project will also require the submission of applications to the Worcester Planning Board for site plan review approval and special permits for inclusionary zoning (IZ) incentives for noncompliance with parking (i.e., minimum count, dimensions, if required,) and loading requirements.

## III. Reasons for Approval of Variances.

The Board should grant the requested variances for the reasons set forth below.

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<sup>4</sup> 9 EV-“ready” charging (i.e., conduit run) spaces will be designated for future electric vehicle parking.

<sup>5</sup> Two secure bicycle storage rooms will be provided, one on the first level to accommodate 9 bikes, and one that can be accessed from the interior at the below grade parking level to accommodate 21 bikes. Exterior bike racks for 14 bikes will also be provided.

<sup>6</sup> The Board is the permit granting authority for issuance of variances pursuant to Article II, Section 6.A.3 of the Zoning Ordinance.

<sup>7</sup> 36 units proposed minus 20% (density bonus, i.e., 15% affordable plus 5%) = 28.8 units; 28.8 units x 2 spaces per unit = 57.6 spaces, **rounded up to 58 spaces**. Transportation Management Program (TMP to be provided) reduction is 58 spaces minus 25% = 43.5 spaces, **rounded up to 44 spaces**. Planning Board Eligible Development special permit: Base residential parking requirement is 72 spaces. The Planning Board can grant a Special Permit to reduce the requirement from 44 spaces (requirement after TMP) to 36 spaces (i.e., 50% of base residential requirement). The final parking requirement utilizing all available relief under Inclusionary Zoning is 36 residential spaces plus 6 commercial spaces = **42 spaces required**.

**1. Describe how a literal enforcement of the provision of the City of Worcester Zoning Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant.**

Polar Views would suffer substantial hardship if literal enforcement of the minimum parking and frontage requirements of the Zoning Ordinance were to be enforced. Compliance with minimum parking and minimum frontage would require Polar Views to acquire title to a portion of land from the City of Worcester where the Inspectional Services Department building is located to increase the frontage of the Property and create additional parking spaces. Alternatively, Polar Views would be forced to significantly reduce the total number of units to only 3 units with respect to minimum frontage. Both options would make the Project financially infeasible.

Denial of the requested variances would result in Polar Views being unable to develop the Property lot into its most beneficial use, which includes a substantial affordable component, thereby, depriving Polar Views from realizing the full economic value of the Property, which has been underutilized for years.

**2. Describe how the hardship is owing to circumstances relating to the soil conditions, shape, and/or topography of the land or structures and how the hardship especially affects said land or structures, but does not affect generally the zoning district in which it is located.**

There exist circumstances relating to shape and size of the lot that especially affect the Property, but do not affect generally properties in the BG-3.0 zoning district or the nearby BG-6.0 zoning district located directly across the street. Unlike many other neighboring properties, the Property lot is surrounded by streets on three sides and is unusually square-shaped, rather than long and rectangular, which restricts areas for parking. Although the aggregation of the lot lines along the surrounding three streets would otherwise comply with the minimum frontage requirement, the Zoning Ordinance, unlike many other communities, does not allow such aggregation, and, therefore, the Property cannot comply with the minimum frontage requirement without acquiring additional land from the City of Worcester to the south, which is untenable. Many of the nearby lots along Lamartine Street are more rectangular in shape and/or have a lot line along a street that is longer relative to its other lot lines.

**3. Describe how desirable relief may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the City of Worcester Zoning Ordinance.**

The requested variances may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the Zoning Ordinance. The aggregate length of the lot lines along the surrounding three streets exceeds 200 feet, which is tantamount to satisfying the underlying purpose of the minimum frontage requirement. The proposed parking space to unit ratio for the Project of 1.11 is higher than the parking ratios of other similar high-rise multifamily projects that have been approved in the City. The Project will accommodate 1 to 1 residential parking for all 36 units while providing 4 spaces for the remaining commercial use at the New Building. The proposed parking will adequately serve the occupants of the New Building, and will not have a material negative impact on the neighborhood with respect to on- or off-street parking. There will continue to be ample on-street parking on surrounding streets. The neighborhood is transit-oriented in nature (i.e., WRTA bus stations), and facilities at the Property will accommodate alternate means of transportation (e.g., bicycle storage). There exist amenities in close proximity to the Property and there is a nearby downtown employer hub. The proposed parking areas are designed to reduce the amount of at-grade land devoted to parking and utilize parking areas more efficiently by providing a subterranean parking level, which results in a more urban look and feel by not overwhelming the Property with surface parking. Less parking on the surface level allows for more areas that can be devoted to affordable units, open space, amenities and commercial space.

Granting this relief will promote the highest and best use of the Property, which has been underutilized for years. This Eligible Development Project will provide much-needed affordable housing with 15% of the units being comprised of affordable rate units, including 5% of the units being rented at rates as low as 60% of the area median income. The Project will promote economic vitality by creating construction-related jobs and generating new tax revenues and fees for the City.

The Project is in conformance with the purposes and intent of the Zoning Ordinance, as it will encourage the most appropriate use of the land in a manner that protects natural resources as well as the architectural, scenic, and aesthetic qualities of the neighborhood and protects against the uses of land which are incompatible with nearby uses, undue intensity of noise and danger and congestion in travel and transportation.

- 4. Describe how the dimensional variance as it relates to floor space, bulk, number of occupants or other relevant measures, if granted, shall be no greater than the minimum necessary to provide relief from the statutory hardship.**

The variances from the minimum parking and frontage requirements as requested herein are no greater than the minimum necessary to provide relief from the statutory hardship.



**City of Worcester  
Department of Inspectional Services  
Zoning Determination Form**



To obtain a building permit, you are required to file the following Board application(s):

**Property Address:**

39 Lamartine Street  
Parcel ID: 05-014-00008

**Zoning District:** BG-3.0

**Planning Board** (Indicate all that apply)

**Site Plan** (circle all that apply):

Preliminary Definitive

**Trigger(s)** <sup>1</sup>: (circle all that apply) \_\_\_\_\_

15% Slope      Lodging      Historical  
WRP              # of Units      GFA  
Subdivision      Flood Plain<sup>1</sup>  
Special Permit related

**Parking Plan:**

# of Spaces \_\_\_\_\_

**Special Permits** (circle all that apply)<sup>1</sup>

AROD    FPOD    CCRC  
WRP    MU    Cluster    CCOD  
Common Drive    AHDB    AOD  
Inclusionary Zoning

**Other Filings** (either Board)

- Amendment** \_\_\_\_\_
- Administrative Appeal**
- Extension of Time**
- Comprehensive Permit**
- Other** \_\_\_\_\_

**Zoning Board of Appeals** (Indicate all that apply)

**Variance(s)** (Indicate relief needed for all that apply)

Dimension	Requirement	Provided	Relief Requested
Gross Area (SF)			
Frontage (ft.)	200	159.28+/-	40.78+/-
Setback (ft.)	Front		
	Side		
	Exterior Side		
	Rear		
Height (ft.)			
Floor to Area Ratio			

Parking (spaces)	42	40	2
Landscaping			
Other			

**Applicable Section of Zoning Ordinance**

**Article:** V; IX; II; II  
**Section:** 2; 6; 6.A.3; 7.A.2  
**Paragraph:** Table 5.1; ii.b-c;

**Special Permit** (circle all that apply):

Expansion/Change of pre-existing nonconforming  
Structure      Use

Non-Residential/Residential Conversion

Other Special Permit

Special permit for reduction of parking; loading requirements and landscaping

Department of Inspectional Services

Authorized Signature Required    TM    DJH    DC

Todd Miller

<sup>1</sup> AOD= Arts Overlay District, AHDB=Affordable Housing, AROD=Adaptive Reuse Overlay District, CCRC=Continuing Care Retirement Community, FPOD = Flexible Parking, FP Flood Plain, MU= Mixed Use WRP=Water Resources Protection.



# DEFINITIVE SITE PLAN FOR 39 LARMARTINE STREET WORCESTER, MASSACHUSETTS 01610

**RECORD APPLICANT:**  
POLAR VIEWS, LLC  
89 WEST MAIN STREET UNIT 101  
NORTHBOROUGH, MA 01532

**RECORD OWNER:**  
POLAR VIEWS, LLC  
89 WEST MAIN STREET UNIT 101  
NORTHBOROUGH, MA 01532

**LAND PLANNERS—CIVIL ENGINEERS:**  
J.M. GRUNIER ASSOCIATES INC.  
118 TURNPIKE ROAD SUITE 200  
SOUTHBOROUGH, MA 01772  
(508) 845-2500

**LAND SURVEYORS:**  
GLOUINETWORN LAND SURVEY INC.  
949 CHANDLER STREET SUITE 7  
WORCESTER, MA 01610

**ZONING DISTRICT:** BUSINESS, GENERAL (BG-3.0)

INDEX	DESCRIPTION	SHEET NUMBER
	COVER	1 OF 8
	EXISTING CONDITIONS PLANS	2 OF 8
	LAYOUT PLAN	3 OF 8
	GRADING AND DRAINAGE PLAN	4 OF 8
	UTILITY PLAN	5 OF 8
	EROSION & SEDIMENTATION CONTROL PLAN	6 OF 8
	DETAIL PLAN	7 OF 8
	DETAIL PLAN	8 OF 8

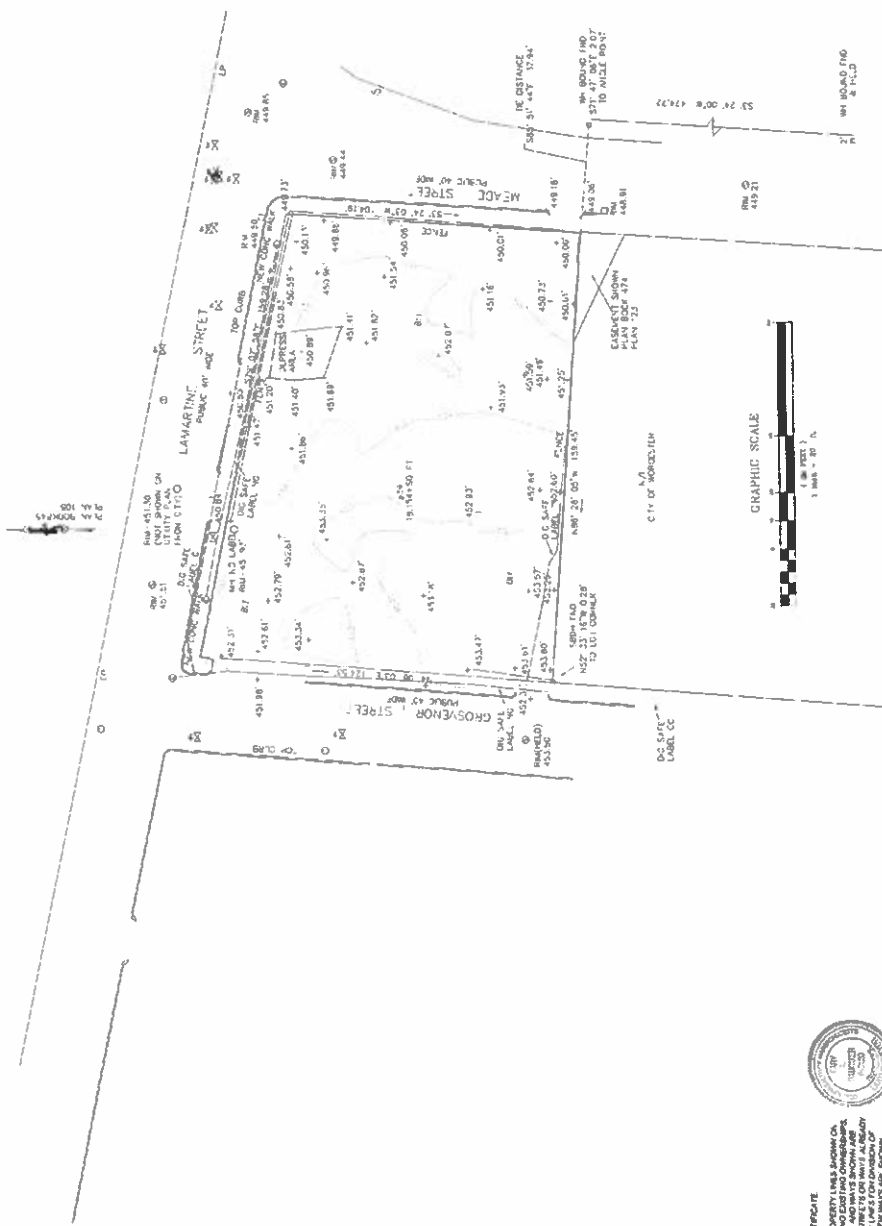
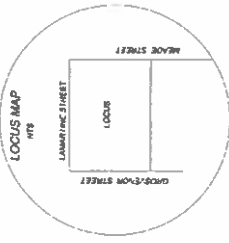
REV. NO.	DATE	REVISION
SCALE	AS SHOWN	
		DATE: JUNE 6, 2024
SHEET NO.:		COVER SHEET
SHEET 1 OF 8		PROJECT NO.:
		C-847



**PLAN REFERENCES**

- PLAN BOOK 474 PLAN 123
- PLAN BOOK 842 PLAN 40
- PLAN BOOK 845 PLAN 105

CITY OF WORCESTER PLANS  
 LAMARTINE STREET (H-15 6741-1)  
 MEADE STREET (H-9296)  
 GROSVENOR STREET (H-9323)



- NOTES**
- 1.) DATUM TAKEN FROM SMH ON UTILITY PLAN FROM CITY OF WORCESTER
  - 2.) CONSTRUCTION ON LOTS OR LAIRD IS SUBJECT TO ANY EASEMENTS, RIGHT OF WAYS, RESTRICTION RESERVATIONS OR LIMITATIONS ON RECORD
  - 3.) UTILITIES SHOWN ARE FROM FIELD LOCATIONS. IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER TO THE CONTRACTOR TO VERIFY THE SIZE, ELEVATION AND LOCATION OF UTILITIES PRIOR TO ANY EXCAVATION AND CONSTRUCTION. HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.

**OWNER OF RECORD**  
 39 LAMARTINE STREET LLC  
 DEED BOOK 84121 PAGE 388



ALL CITY SURVEYORS CERTIFICATE  
 I HEREBY CERTIFY THAT THE PROPERTY LIES SURROUNDING  
 THE PLAN ARE THE LOTS UNKNOWN EXISTING OWNERSHIP  
 AND THAT THE SURVEY IS ACCURATE AND THAT THE  
 PLANS OF PUBLIC UTILITIES SHOWN ARE  
 CORRECT AND THAT NO NEW UTILITIES OR DIVISIONS OF  
 EXISTING OWNERSHIP OR PUBLIC UTILITIES ARE SHOWN

*Surveyor's Signature*  
 DATE

PREPARED FOR: SMALL AND REED CO. INC.  
 100 STATE STREET  
 WORCESTER, MA  
**GEO / NETWORK LAND SURVEY, INC.**  
 845 CHANDLER STREET SUITE 7  
 WORCESTER, MASSACHUSETTS 01610  
 508-755-7003 FAX 508-755-8003



**LEGEND:**

- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING CONTOUR - HIGH
- EXISTING CONTOUR - LOW
- PROPOSED CONTOUR - HIGH
- PROPOSED CONTOUR - LOW
- EXISTING EASEMENT
- EXISTING CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- EXISTING DRAIN LINE
- PROPOSED DRAIN LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SEWER LINE
- PROPOSED SEWER LINE
- EXISTING GAS LINE
- PROPOSED GAS LINE
- EXISTING UNDERGROUND CABLE, TV
- PROPOSED UNDERGROUND CONTROL

**ZONING SUMMARY**  
 CURRENT ZONE: BUSINESS GENERAL (B-10)  
 MIN. LOT AREA: 10,000 SQ. FT.  
 MIN. FRONT YARD SETBACK: 20 FT.  
 MIN. REAR YARD SETBACK: 10 FT.  
 MIN. SIDE YARD SETBACK: 5 FT.  
 MAX. FLOOR AREA RATIO: 3.0  
 MAX. BUILDING HEIGHT: 100 FT.  
 \* For 1994/97, 2, WIDE AREA AND PERMETER

**NOTES:**

- VARIANCE REQUIRED FROM ZONING BOARD OF APPEALS TO REDUCE FRONTAGE FROM 200' TO 150.25'
- SPECIAL PERMIT REQUIRED FROM PLANNING BOARD FOR PARKING SPACE REDUCTION OF UP TO 50% OF BASE REQUIREMENT
- SPECIAL PERMIT REQUIRED FROM PLANNING BOARD FOR REDUCED SIDE YARD SETBACK FROM 10' TO 5' FOR THE EXISTING SPACE IS PROVIDED ON MEADE STREET.

**NOTES:**

- 25% PARKING REDUCTION FOR EXISTING DEVELOPMENT UNDER APPLICABLE WASHINGTON STATE OF THE ZONING ORDINANCE
- 77 SPACES (+/-) = 54 SPACES REQUIRED
- 40 SPACES PROVIDED
- 10 SPACES PROVIDED
- 10 SPACES PROVIDED
- 10 SPACES PROVIDED

**NOTE:** N/E VALUE

**NOTE:** N/E VALUE

**NOTE:** N/E VALUE

**NOTE:** N/E VALUE

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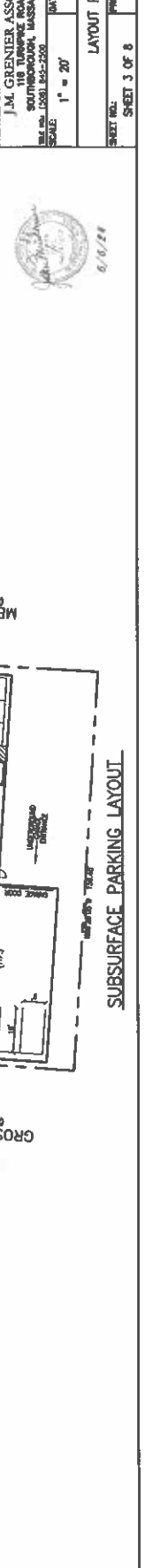
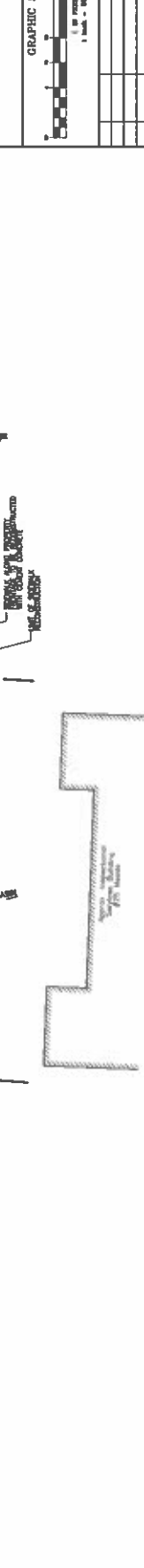
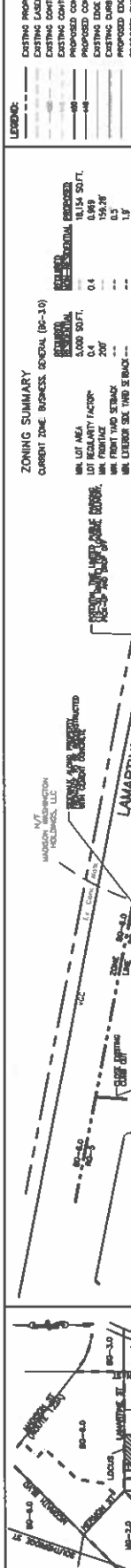
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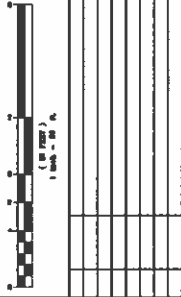
**LEGEND:**

- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING CONTIGUOUS - HIGH
- EXISTING CONTIGUOUS - LOW
- PROPOSED CONTIGUOUS - HIGH
- PROPOSED CONTIGUOUS - LOW
- EXISTING DOSE PAVERS
- EXISTING CURB
- PROPOSED DOSE OF PAVEMENT
- PROPOSED CURB
- EXISTING TRUNK LINE
- PROPOSED TRUNK LINE
- PROPOSED FORCE MAIN
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SEWER LINE
- PROPOSED SEWER LINE
- EXISTING UNDERGROUND COLLECTING
- EXISTING UNDERGROUND SABLE TV
- PROPOSED UNDERGROUND SABLE TV
- PROPOSED UNDERGROUND CABLE TV
- PROPOSED UNDERGROUND CONDUIT

**NOTES:**

1. EXISTING CONTIGUOUS PROPERTY LINE SHOWN IN 100' AS SHOWN ON THE RECORD MAP.
2. APPROXIMATE CITY OF WORCESTER BOUNDARY SHOWN IN 100' AS SHOWN ON THE RECORD MAP.
3. APPROXIMATE UNDERGROUND UTILITY LOCATIONS SHOWN IN 100' AS SHOWN ON THE RECORD MAP.
4. DIMENSIONS SHOWN.
5. EXISTING SOILS ON SITE ARE UNKNOWN.

**GRAPHIC SCALE**



REV. NO.	DATE	REVISION

**DEFINITIVE SITE PLAN**  
**FOR**  
**39 LAMARTINE STREET**  
**WORCESTER, MASSACHUSETTS 01610**

PREPARED FOR:  
**POLAR VIEWS, LLC**  
 88 WEST MAIN STREET SUITE 101  
 NORTHBOROUGH, MASSACHUSETTS 01532

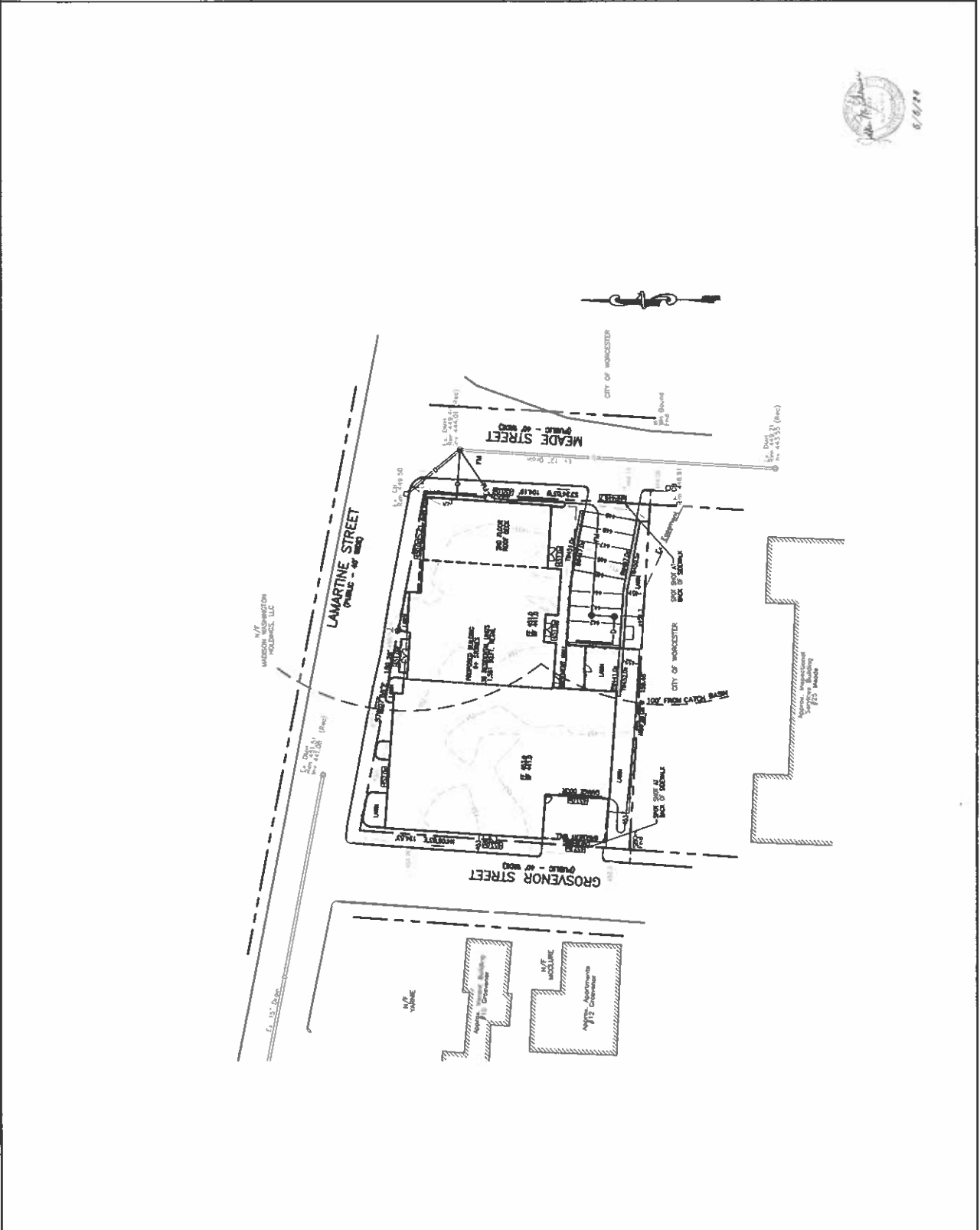
PROPERTY OWNER:  
**POLAR VIEWS, LLC**  
 88 WEST MAIN STREET SUITE 101  
 NORTHBOROUGH, MASSACHUSETTS 01532

DESIGNED BY:  
**J.M. GRENIER ASSOCIATES INC.**  
 118 TURNERS ROAD SUITE 200  
 SOUTHBOROUGH, MASSACHUSETTS 01772  
 TEL: (508) 852-7000 FAX: (508) 852-7000  
 WWW: JMGRENIER.COM

SCALE: 1" = 20'  
 DATE: JUNE 8, 2024

**GRADING AND DRAINAGE PLAN**

SHEET NO.: SHEET 4 OF 8  
 PROJECT NO.: G-047

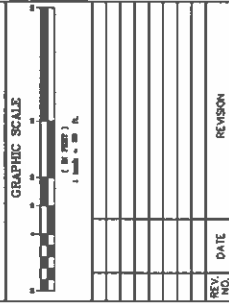


**LEGEND:**

---	EXISTING PROPERTY LINE
---	EXISTING EASEMENT LINE
---	EXISTING CONTIGUA - HIGH
---	EXISTING CONTIGUA - LOW
---	PROPOSED CONTIGUA - HIGH
---	PROPOSED CONTIGUA - LOW
---	EXISTING EDGE OF PAVEMENT
---	EXISTING CURB
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED CURB
---	EXISTING DRIVE LINE
---	PROPOSED DRIVE LINE
---	EXISTING FORCE MAIN
---	PROPOSED WATER LINE
---	EXISTING WATER LINE
---	EXISTING SEWER LINE
---	PROPOSED SEWER LINE
---	EXISTING GAS LINE
---	PROPOSED GAS LINE
---	EXISTING UNDERGROUND CABLE TV
---	PROPOSED UNDERGROUND CABLE TV

**NOTES:**

- ALL UTILITIES (SEWER, WATER, GAS, AND CABLE) SHALL BE SHOWN AS LOCATED BY THE CITY OF WORCESTER. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES DURING CONSTRUCTION.
- IF ANY UTILITIES ARE FOUND TO BE DEEPER THAN SHOWN ON THESE PLANS, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER. THE LOCATION AND DEPTH OF SUCH UTILITIES SHALL BE DETERMINED AND NOTED ON THE PLANS.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. ANY OBSTRUCTIONS TO ACCESS SHALL BE REMOVED IMMEDIATELY.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRIVEWAYS AND SIDEWALKS. ANY DAMAGE TO THESE AREAS SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING CURBS AND EDGES. ANY DAMAGE TO THESE AREAS SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES. ANY DAMAGE TO THESE UTILITIES SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EASEMENTS. ANY DAMAGE TO THESE EASEMENTS SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PROPERTY LINES. ANY DAMAGE TO THESE LINES SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING CONTIGUA. ANY DAMAGE TO THESE CONTIGUA SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING FORCE MAINS. ANY DAMAGE TO THESE FORCE MAINS SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING WATER LINES. ANY DAMAGE TO THESE WATER LINES SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING SEWER LINES. ANY DAMAGE TO THESE SEWER LINES SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING GAS LINES. ANY DAMAGE TO THESE GAS LINES SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UNDERGROUND CABLE TV LINES. ANY DAMAGE TO THESE CABLE TV LINES SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER.



REV. NO. | DATE | REVISION

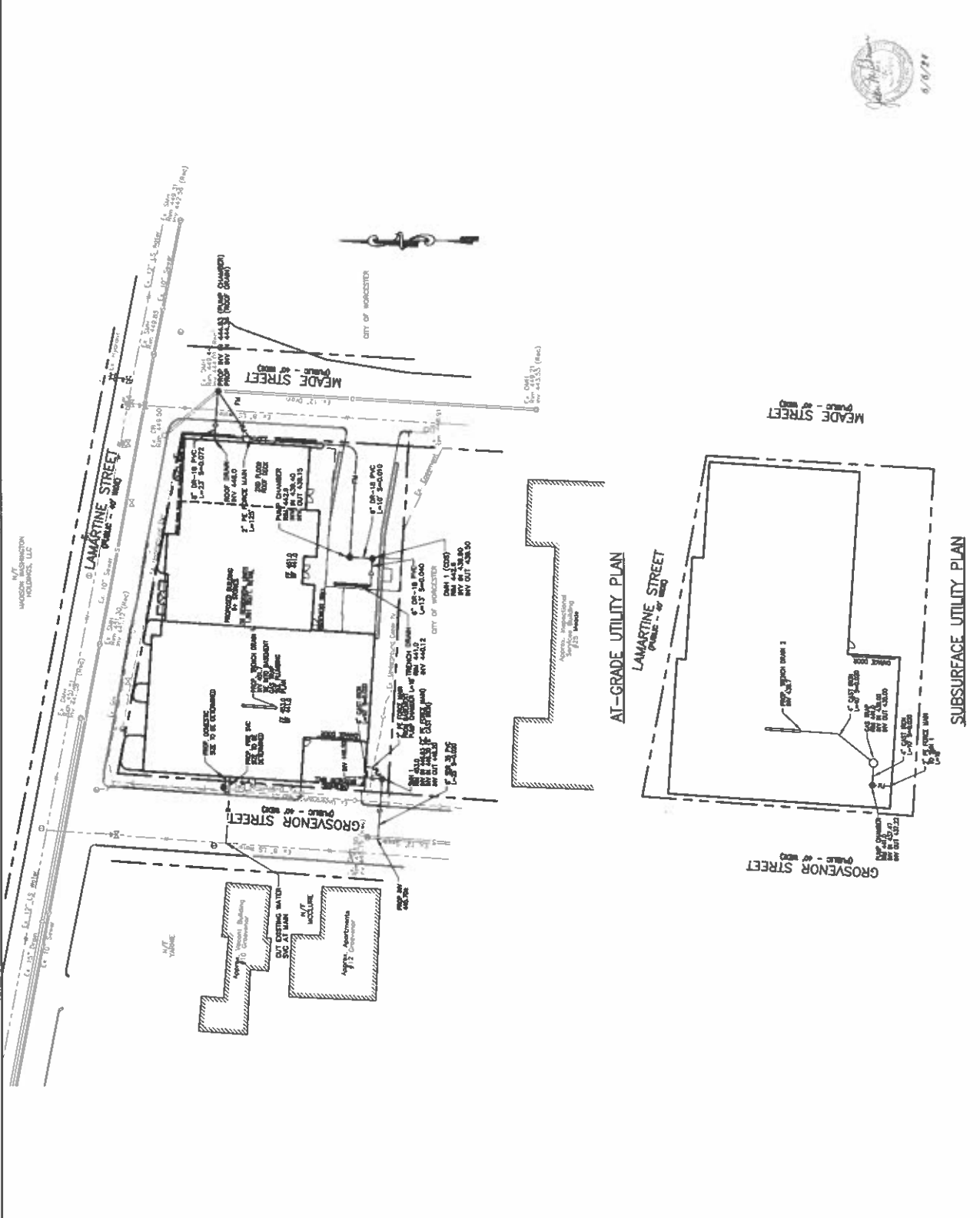
DEFINITIVE SITE PLAN  
FOR  
39 LAMARTINE STREET  
WORCESTER, MASSACHUSETTS 01610

PREPARED FOR: POLAR VIEWS, LLC  
88 WEST MAIN STREET UNIT 101  
NORTHBOROUGH, MASSACHUSETTS 01532

PROPERTY OWNERS: POLAR VIEWS, LLC  
88 WEST MAIN STREET UNIT 101  
NORTHBOROUGH, MASSACHUSETTS 01532

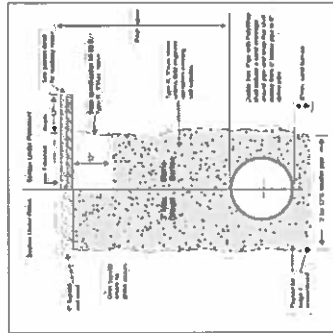
PREPARED BY: J.M. GRENIER ASSOCIATES INC.  
SOUTHBOROUGH, MASSACHUSETTS 01772  
TEL: (508) 345-2299 | DATE: JUNE 8, 2024

UTILITY PLAN  
PROJECT NO.: C-447  
SHEET NO.: SHEET 5 OF 8

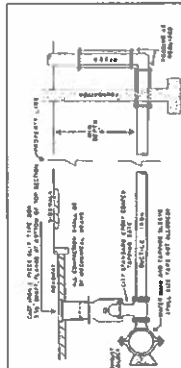








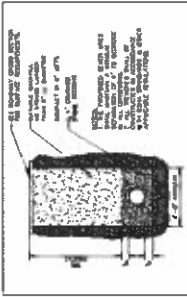
TYPICAL WATER TRENCH SECTION



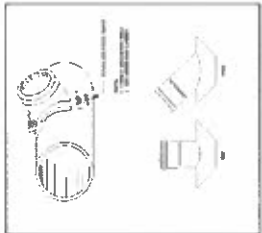
**GENERAL NOTES**

1. All work shall be in accordance with the City of Worcester Engineering Department Specifications for Water Service Connections.
2. Excavation shall be to a minimum depth of 24 inches below the bottom of the pipe. Material used for backfilling shall comply with the City of Worcester Engineering Department Specifications for Backfilling.
3. All work shall be in accordance with the City of Worcester Engineering Department Specifications for Water Service Connections.
4. All work shall be in accordance with the City of Worcester Engineering Department Specifications for Water Service Connections.
5. All work shall be in accordance with the City of Worcester Engineering Department Specifications for Water Service Connections.

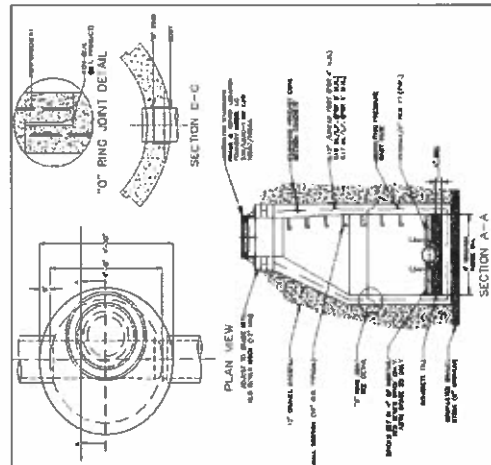
**WATER SERVICE DETAIL**



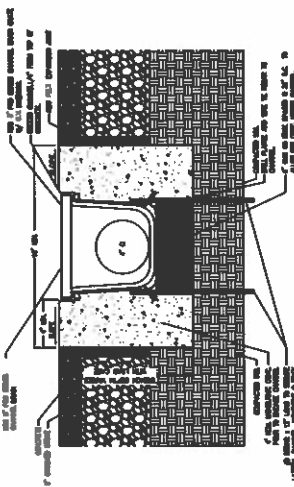
SEWER TRENCH DETAIL



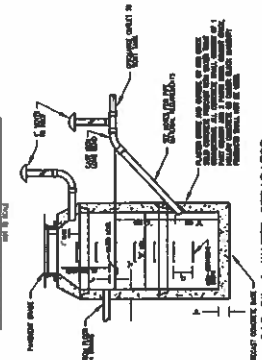
SEWER DE & W/E CONNECTION



SEWER MANHOLE



FLOOR DRAIN CROSS-SECTION

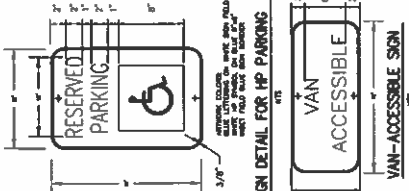


GAS OIL & WATER SEPARATOR

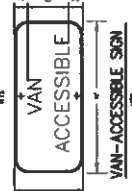
- GENERAL NOTES:**
1. All work shall be in accordance with the City of Worcester Engineering Department Specifications for Gas Oil & Water Separators.
  2. Excavation shall be to a minimum depth of 24 inches below the bottom of the pipe. Material used for backfilling shall comply with the City of Worcester Engineering Department Specifications for Backfilling.
  3. All work shall be in accordance with the City of Worcester Engineering Department Specifications for Gas Oil & Water Separators.
  4. All work shall be in accordance with the City of Worcester Engineering Department Specifications for Gas Oil & Water Separators.
  5. All work shall be in accordance with the City of Worcester Engineering Department Specifications for Gas Oil & Water Separators.

**REVISIONS**

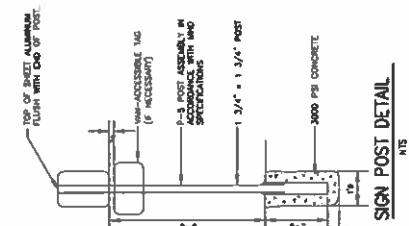
NO.	DATE	DESCRIPTION
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2	06/08/24	REVISED PER CITY COMMENTS
3	06/08/24	REVISED PER CITY COMMENTS
4	06/08/24	REVISED PER CITY COMMENTS
5	06/08/24	REVISED PER CITY COMMENTS
6	06/08/24	REVISED PER CITY COMMENTS
7	06/08/24	REVISED PER CITY COMMENTS
8	06/08/24	REVISED PER CITY COMMENTS
9	06/08/24	REVISED PER CITY COMMENTS
10	06/08/24	REVISED PER CITY COMMENTS



SIGN DETAIL FOR HP PARKING



VAN-ACCESSIBLE SIGN



SIGN POST DETAIL



**DEFINITIVE SITE PLAN FOR 38 LAMARTINE STREET WORCESTER, MASSACHUSETTS 01610**

PREPARED FOR: POLAR VIEWS, LLC  
99 WEST MAIN STREET UNIT 101  
NORTHBOROUGH, MASSACHUSETTS 01532

PROPERTY OWNER: POLAR VIEWS, LLC  
99 WEST MAIN STREET UNIT 101  
NORTHBOROUGH, MASSACHUSETTS 01532

PREPARED BY: J.M. GRENIER ASSOCIATES INC.  
118 TURNPIKE ROAD SUITE 200  
SOUTHBOROUGH, MASSACHUSETTS 01772  
TEL: 508.352.2500 FAX: 508.352.2500

DATE: JUNE 8, 2024

PROJECT NO.: 24-001

SHEET NO.: SHEET 8 OF 8

PROJECT TITLE: DETAIL PLAN 2/2

PROJECT NO.: G-647

# 39 Lamartine Street

**Project Address:**  
39 Lamartine St.  
Worcester, MA 01610

**Architects Project # 24033**  
**Issue Date: 06.06.2024**

**Project Team:**

**Architect:**  
Maugel Destefano Architects, Inc.  
27 Ladd Street  
Worcester, MA 01601  
Tel: 978-456-2900  
Fax: 978-456-2901

**Client:**

Polar Views, LLC  
88 West Main Street, Unit 101  
Northborough, MA 01560



# Site Plan Review



**CONSTRUCTION NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND THE INTERNATIONAL ELECTRICAL CODE (IEC).
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPM) AND THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC).
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND THE INTERNATIONAL ELECTRICAL CODE (IEC).
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND THE INTERNATIONAL ELECTRICAL CODE (IEC).

**APPLICABLE CODES**

INTERNATIONAL BUILDING CODE (IBC) 2018  
INTERNATIONAL RESIDENTIAL CODE (IRC) 2018  
INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) 2018  
INTERNATIONAL ELECTRICAL CODE (IEC) 2017  
INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) 2018  
INTERNATIONAL ELECTRICAL CODE (IEC) 2017  
INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) 2018  
INTERNATIONAL ELECTRICAL CODE (IEC) 2017

**GENERAL NOTES**

1. SEE ALL NOTES ON SHEETS A.100 THROUGH A.105.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND THE INTERNATIONAL ELECTRICAL CODE (IEC).
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND THE INTERNATIONAL ELECTRICAL CODE (IEC).
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND THE INTERNATIONAL ELECTRICAL CODE (IEC).

**FINISH SCHEDULE**

FINISH	QTY	UNIT	EXT.	DATE
CEILING	1	SQ. FT.	100	01/15/18
FLOOR	1	SQ. FT.	100	01/15/18
WALL	1	SQ. FT.	100	01/15/18
DOOR	1	EA.	10	01/15/18
WINDOW	1	EA.	10	01/15/18
TOTAL	4		220	

**MECHANICAL SCHEDULE**

MECHANICAL	QTY	UNIT	EXT.	DATE
MECH	1	EA.	10	01/15/18
ELEC	1	EA.	10	01/15/18
PLUMB	1	EA.	10	01/15/18
TOTAL	3		30	

**PAINT SCHEDULE**

PAINT	QTY	UNIT	EXT.	DATE
PAINT	1	EA.	10	01/15/18
GLASS	1	EA.	10	01/15/18
TOTAL	2		20	

**FINISH SCHEDULE**

FINISH	QTY	UNIT	EXT.	DATE
CEILING	1	SQ. FT.	100	01/15/18
FLOOR	1	SQ. FT.	100	01/15/18
WALL	1	SQ. FT.	100	01/15/18
DOOR	1	EA.	10	01/15/18
WINDOW	1	EA.	10	01/15/18
TOTAL	4		220	

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MECHANICAL	QTY	UNIT	EXT.	DATE
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TOTAL	3		30	

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GLASS	1	EA.	10	01/15/18
TOTAL	2		20	

**FINISH SCHEDULE**

FINISH	QTY	UNIT	EXT.	DATE
CEILING	1	SQ. FT.	100	01/15/18
FLOOR	1	SQ. FT.	100	01/15/18
WALL	1	SQ. FT.	100	01/15/18
DOOR	1	EA.	10	01/15/18
WINDOW	1	EA.	10	01/15/18
TOTAL	4		220	

**MECHANICAL SCHEDULE**

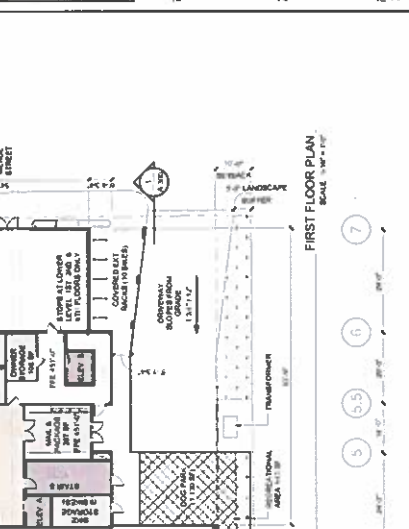
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MECH	1	EA.	10	01/15/18
ELEC	1	EA.	10	01/15/18
PLUMB	1	EA.	10	01/15/18
TOTAL	3		30	

**PAINT SCHEDULE**

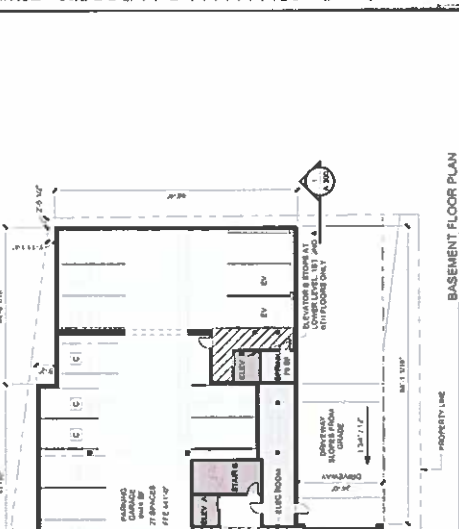
PAINT	QTY	UNIT	EXT.	DATE
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GLASS	1	EA.	10	01/15/18
TOTAL	2		20	



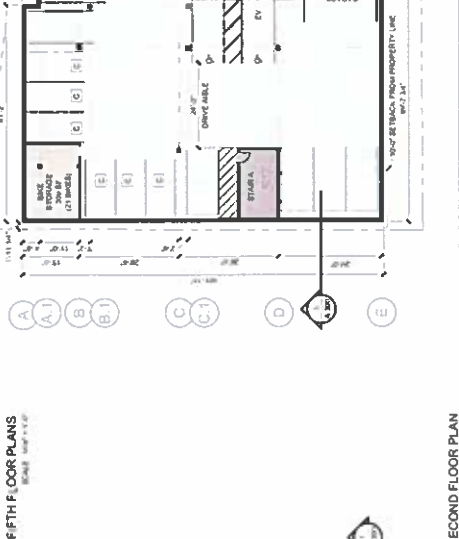
**SIXTH FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**THIRD, FOURTH, & FIFTH FLOOR PLANS**  
SCALE: 1/8" = 1'-0"

**RECOMMENDED SECTION**

38 Limestone Street

**Polar Views, LLC**  
20 Limestone Street, Suite 200  
Portland, ME 04101  
Phone: 603.733.2000  
Email: info@polarviews.com

**MAUREL OSTERFELD ARCHITECTS**  
20 Limestone Street, Suite 200  
Portland, ME 04101  
Phone: 603.733.2000  
Email: info@maurel.com

**A.100**

Sheet Number: A.100

**Basement Floor Plan**  
SCALE: 1/8" = 1'-0"

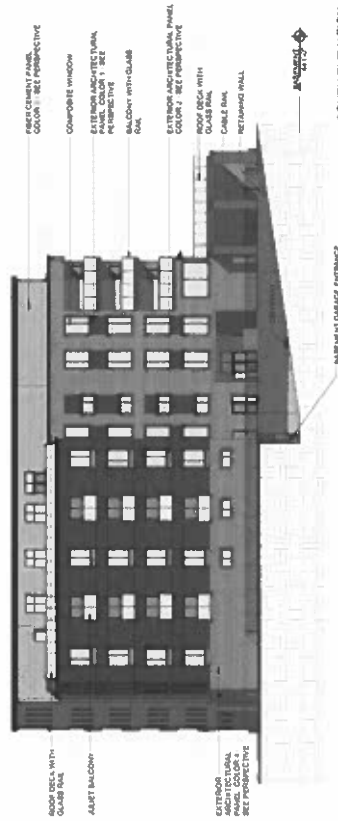
Basement floor plan showing various rooms, a parking garage, and a driveway. The plan includes dimensions, grid lines, and labels for rooms like 'GARAGE', 'MECH', and 'STAIRS'. A note indicates 'GARAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND THE INTERNATIONAL ELECTRICAL CODE (IEC)'.

**Basement Floor Plan**  
SCALE: 1/8" = 1'-0"

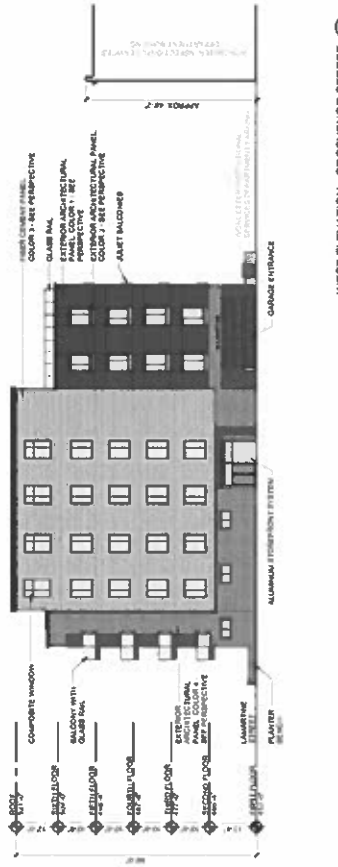
Basement floor plan showing various rooms, a parking garage, and a driveway. The plan includes dimensions, grid lines, and labels for rooms like 'GARAGE', 'MECH', and 'STAIRS'. A note indicates 'GARAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND THE INTERNATIONAL ELECTRICAL CODE (IEC)'.



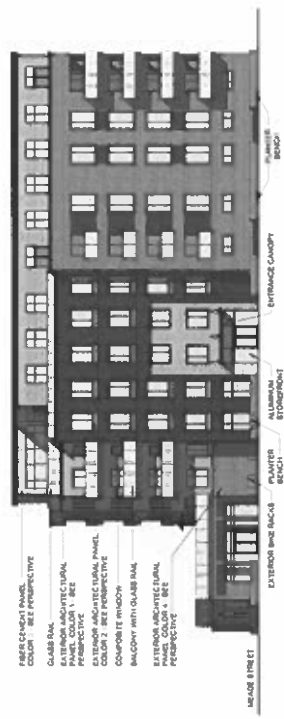
Notes:



**SOUTH ELEVATION - GROSSEVENOR STREET**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION - GROSSEVENOR STREET**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION - LAMARTINE STREET**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION - MEADE STREET**  
SCALE: 1/8" = 1'-0"

Architect's Name:  
**ROCKWELL DESIGN GROUP**

Project:  
**39 Lamartine Street**

Address:  
39 Lamartine Street  
Boston, MA 02110

Client:  
**Pogo Views, LLC**

For: 39 Lamartine Street, Unit #11  
Boston, MA 02110

Project #:  
P2023

Scale:  
1/8" = 1'-0"

Date:  
10.26.2024

Revision:  
1

Drawn By:  
MJD

Checked By:  
MJD

Sheet Number:  
**A.200**

Designing Firm:  
**MANUEL DESTEFANO ARCHITECTS**

MANUEL DESTEFANO ARCHITECTS  
1100 WASHINGTON STREET  
BOSTON, MA 02110  
TEL: 617.552.1234  
WWW.MANUELDESTEFANO.COM

Notes:

Key Plan

Architect's Name:

**MAUSSEL BOSTEFANO ARCHITECTS**

Project: 38 Limestone Street

26 Limestone Street, 3rd Floor, Cambridge, MA 02142

Client: Polar View, LLC

Architect: Maussel Bostefano Architects, Inc.

Project #: 2017-001

Scale: 1/8" = 1'-0"

Date: 08/14/2017

Revision:

Date:

Revision:

Date:

Revision:

Date:

Revision:

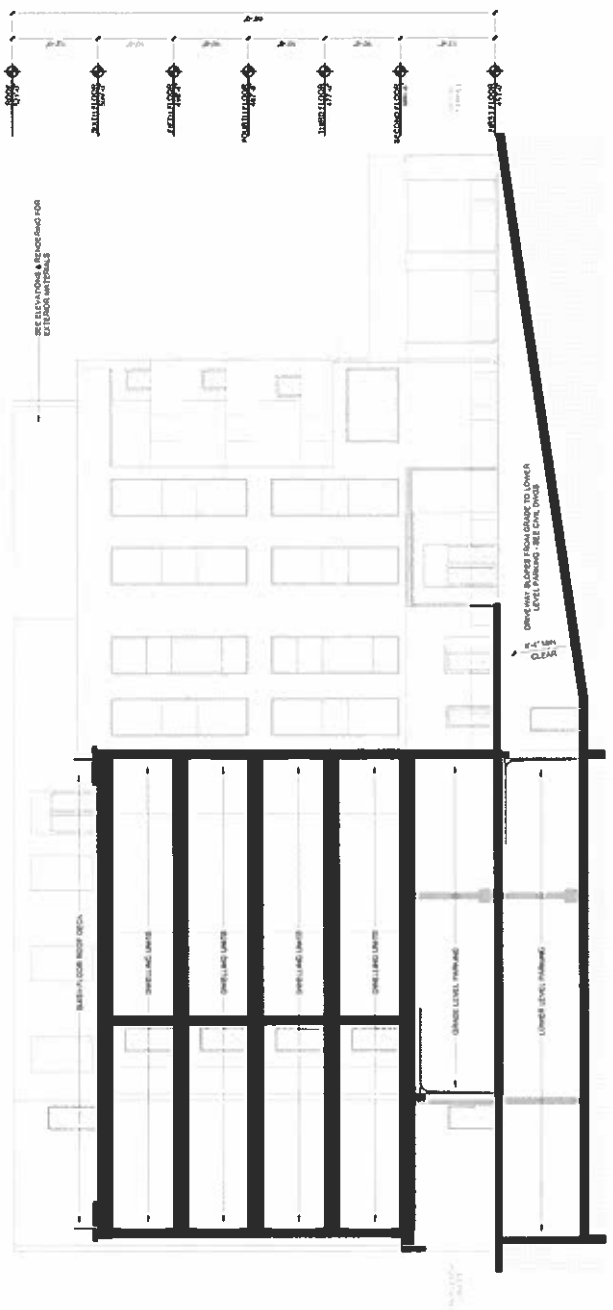
Date:

Revision:

Sheet Number: **A.300**

**MAUSSEL BOSTEFANO ARCHITECTS**

100 STATE STREET, 10TH FLOOR, CAMBRIDGE, MA 02142



**BUILDING SECTION A**  
SCALE: 1/8" = 1'-0"



1.

Exterior Architectural Panel  
Fundermax, Wyke 0427 0427, NY



2.

Exterior Architectural Panel  
Fundermax, Terrapoint 0461, NY



3.

Fiber Cement Panel  
AFC, Sensapart Carl, Ivory 7701



4.

Exterior Architectural Panel  
Fundermax, Skysse 0427, NY



39 Lamartine St  
Worcester, MA

RENDERED PERSPECTIVE

Sketching the Exceptional / 200 Ayer Road / Suite 200 / Harvard, MA 0437 / 578.458.2800

6 JUNE 2024



June 6, 2024

**Traffic Impact Statement**  
**39 Lamartine Street, Worcester, MA**

The information provided in this report is referenced from the Institute of Traffic Engineers, Trip Generation Manual, 11<sup>th</sup> Edition.

The proposed usage of the property consists of a 1,525 sq.ft. retail building (utilized Retail Appeal Store ITE Code 876) and 36-unit apartment building (utilized Mid-Rise Residential with First Floor Commercial ITE Code 231). Based on these uses, the trips generated are as follows:

<u>Land Use</u>		<u>Morning Peak Hr</u>	<u>Evening Peak Hr</u>	<u>Weekday</u>
Retail	1,525 sq.ft.	11	7	578
Mid-rise Res.	36 Units	<u>7</u> 18	<u>10</u> 17	<u>100 (estimate)</u> 678

CITY OF WORCESTER, MASSACHUSETTS

Edward M. Augustus, Jr.  
City Manager



Samuel Konieczny, MAA  
City Assessor

Administration and Finance  
Division of Assessing

**REQUEST FOR MAPS AND/OR ABUTTERS' LISTS:**

Please be advised that requested lists will typically be completed within ten (10) business days. Lists will be provided for a fee of \$20.00 paid at the time of request. Please state the reason for the abutters' list and indicate if the subject parcel has shared ownership with an adjoining parcel, this will ensure the provided list meets the appropriate regulations. Two sets of mailing labels will be included when required.

Our email address is: [Assessing@worcesterma.gov](mailto:Assessing@worcesterma.gov) and our fax number is (508) 799-1021.

Please contact our office with any questions.

ABUTTER'S LIST      LABELS       Yes    No    1 SET     2 SETS

MAP(S)

PROPERTY ADDRESS 39 Lamartine Street

Worcester, MA

MBL No. 05-014-00008

REASON:  PLANNING  
 ZONING  
 LIQUOR LICENSE  
 CONSERVATION COMMISSION  
 HISTORICAL COMMISSION  
 OTHER- \_\_\_\_\_

Footage for radius 300

CONTACT: NAME: Stephanie Fleming

ADDRESS: 311 Main Street, Worcester

TELEPHONE: MA, 01608, 508-926-3346



May 31, 2024

VIA EMAIL - [Assessing@worcesterma.gov](mailto:Assessing@worcesterma.gov)

Assessor's Office  
Worcester City Hall  
455 Main Street  
Worcester, MA 01608

**Re: *Abutter's List Request for 39 Lamartine Street***  
***MBL: 05-014-00008***

To Whom it May Concern:

Enclosed, please find a Request for an Abutter's List for the above-referenced property. I will have a check hand delivered to your office in the amount of \$20.00.

Please note we are requesting a 300-foot radius search for this list.

Kindly email the abutter's list and label sheets to [sfleming@bowditch.com](mailto:sfleming@bowditch.com).

Thank you in advance for your assistance.

Sincerely,



Stephanie Fleming  
Paralegal

Enclosures

Edward M. Augustus, Jr.  
CITY MANAGER



Timothy J. McGourthy  
CHIEF FINANCIAL OFFICER

Samuel E. Konieczny  
CITY ASSESSOR

CITY OF WORCESTER  
ADMINISTRATION & FINANCE

### Certified Abutters List

A list of 'parties in interest' shall be attached to the application form and shall include the names and addresses. All such names and addresses shall be obtained from the most recent applicable tax list maintained by the City's Assessing Department. The Assessing Department certifies the list of names and addresses.

Total Count: 46

Parcel Address: 39 LAMARTINE STREET  
WORCESTER, MA 01610  
Assessor's Map-Block-Lot(s): 05-014-00008

Owner: POLAR VIEW LLS  
89 WEST MAIN ST  
UNIT 101  
Owner Mailing: NORTHBOROUGH, MA 01532

Petitioner (if other than owner): STEPHANIE FLEMING  
Petitioner Mailing Address: 311 MAIN STREET  
WORCESTER, MA 01608  
508-926-3346

Planning: \_\_\_\_\_ Zoning: X Liquor License: \_\_\_\_\_ ConComm: \_\_\_\_\_  
Historical: \_\_\_\_\_ Cannabis: \_\_\_\_\_ Other: \_\_\_\_\_

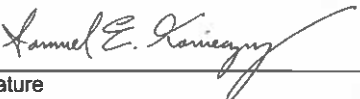
MADISON WG HOLDINGS LLC	05-009-00019	0667 BOYLSTON ST SUITE 201	BOSTON, MA 02116
MADISON WG HOLDINGS LLC	05-010-00001	0667 BOYLSTON ST SUITE 201	BOSTON, MA 02116
MADISON WG HOLDINGS LLC	05-010-00001	0667 BOYLSTON ST SUITE 201	BOSTON, MA 02116
WYMAN GORDON CO	05-010-00008	0080 HERMON STREET	WORCESTER, MA 01610
MADISON WASHINGTON HOLDINGS LLC	05-010-0001B	667 BOYLSTON ST SUITE 201	BOSTON, MA 02116
MADISON WASHINGTON HOLDINGS LLC	05-010-0001E	667 BOYLSTON ST SUITE 201	BOSTON, MA 02116
MADISON WASHINGTON HOLDINGS LLC	05-010-0001F	667 BOYLSTON ST SUITE 201	BOSTON, MA 02116
MADISON WASHINGTON HOLDINGS LLC	05-010-0001G	667 BOYLSTON ST SUITE 201	BOSTON, MA 02116
GOLD STREET REALTY LLC	05-011-00005	0107 AUDUBIN RD 2-301	HOPKINTON, MA 01748
KATERJI, JHAD + SAADALLAH	05-013-00035	0018 MYRIAH RD	SHREWSBURY, MA 01545
CAPSTONE BUILDERS INC	05-013-00042	0069 PARK AVE	WORCESTER, MA 01605
PARAFINOWICZ, WALDEMAR + KATARZYNA	05-013-00043	0246 MILLBURY ST	AUBURN, MA 01501
JACKSON, SCOTT +	05-013-00049	0013 LODI STREET	WORCETER, MA 01608
CLAY, DAVID M	05-013-00053	0021 LODI ST	WORCESTER, MA 01608
DESOUSA, ROMAN	05-013-00055	1231 EDGELL RD	FRAMINGHAM, MA 01701
WYMAN GORDON COMPANY	05-013-36-41	0080 HERMON STREET	WORCESTER, MA 01610
CITY OF WORCESTER HEALTH AND CODE	05-014-00001	20 IRVING ST	WORCESTER, MA 01609



PENA,JUANA	05-014-00002	0013 SCOTT ST	WORCESTER, MA 01610
BUENO,YADIRIS + LORA,RAFAEL	05-014-00003	0010 MEADE ST	WORCESTER, MA 01610
POLAR VIEWS LLC	05-014-00008	0089 WEST MAIN ST UNIT 101	NOTHBOROUGH, MA 01532
VISCETO,WILLIAM + DOLORES	05-014-00010	0037 GROSVENOR ST	WORCESTER, MA 01610
BISHOP,ELVERTON S JR	05-014-00013	0031 GROSVENOR ST	WORCESTER, MA 01610-2702
VISCETO,WILLIAM M DOLORES A	05-014-00014	0037 GROSVENOR ST	WORCESTER, MA 01610-2702
MCCLURE,SEAN P	05-014-00019	15 HAWLEY ST	WORCESTER, MA 01609
PHAM,DON	05-014-00020	40 VISTA CIRCLE	HOLDEN, MA 01520
TAYLOR,LESLIE L + JOYCE J	05-014-00021	0020 GROSVENOR ST	WORCESTER, MA 01610-2703
RAPGYAL,TENZING	05-014-00022	0868 DEPOT RD	BOXBOROUGH, MA 01719
CALLE,PATRICIO	05-014-00023	0030 GROSVENOR ST	WORCESTER, MA 01610
WYMAN GORDON COMPANY	05-014-00026	0080 HERMON STREET	WORCESTER, MA 01610
WYMAN GORDON COMPANY	05-014-00027	0080 HERMON STREET	WORCESTER, MA 01610
JOHANSON,KEVIN R	05-014-00028	0721 BURNCOAT ST	WORCESTER, MA 01606
ARCENALES,CESAR G +	05-014-00029	0017 THORNDYKE RD	WORCESTER, MA 01606
PHILIP,SUSAN R + JOAN A	05-014-0002A	0012 MEADE ST	WORCESTER, MA 01610
GAVAL,SHOHREH E + MANSOUR	05-014-00030	0091 STAFFORD ST SUITE #3	WORCESTER, MA 01603-1453
TRAN,QUOC + HUYNH,PHO	05-014-00031	0657 GRAFTON ST	SHREWSBURY, MA 01545
AMADO,LYSANDER	05-014-00033	0012 LODI ST	WORCESTER, MA 01608
36 GROSVENOR LLC	05-014-00041	0003 LOWELL ST	WALTHAM, MA 02453
PHAM,DALEN	05-014-00045	0008 MEADE ST SUITE 164	WORCESTER, MA 01610
CITY OF WORCESTER HEALTH AND CODE	05-014-0008A	0013 MEADE ST	WORCESTER, MA 01610
TULLOS,EDWARD	05-014-0010A	0009 MEADE ST	WORCESTER, MA 01610
PRESBYTERIAN CHURCH OF GHANA	05-014-0046A	0049 LAFAYETTE ST	WORCESTER, MA 01608
HOBBS,PATRICIA J	05-014-24+34	40 GROSVENOR ST	WORCESTER, MA 01610
WG WASHINGTON STREET LLC	05-015-00015	80 HERMON ST	WORCESTER, MA 01610
O'BRIEN,TIMOTHY + JULIANA	05-015-00044	0641 BRICKYARD RD	WOODSTOCK, CT 06281
MARARIAN,JEFFERSON	05-015-00055	0010 JEFFERSON RD	NORTHBOROUGH, MA 01532
ELEVATORS MAINTENANCE & SERVICE,INC	05-015-16+41	0163 WASHINGTON ST	WORCESTER, MA 01610

This is to certify that the above is a list of abutters to Assessor's Map-Block-Lot's 05-014-00008 as cited above.

Certified by:

  
 \_\_\_\_\_  
 Signature

06/03/2024  
 Date

Edward M. Augustus, Jr.  
CITY MANAGER



Timothy J. McGourthy  
CHIEF FINANCIAL OFFICER

Samuel E. Konieczny  
CITY ASSESSOR

CITY OF WORCESTER  
ADMINISTRATION & FINANCE

### Abutters Map

